

A photograph of a two-story white cottage with a red-tiled roof and two chimneys. The house has a central white door and four windows with red frames. The front garden is lush with green grass, a brick path leading to the door, and various plants including white calla lilies and pink flowers. A white picket fence is visible in the foreground.

Burgess Cottage, Church Path, Stokenchurch, Buckinghamshire, HP14 3TJ - Offers in Excess of £350,000

A character two bedroom cottage located in village centre overlooking the common.

Attractive Front Garden | 'L' Shaped Sitting/Dining Room | Modern Fitted Kitchen | First Floor Landing | Two Bedrooms | Modern Fitted Four Piece Bathroom Suite | Loft Area | Courtyard Garden To Rear | Character Features | Offered With No Onward Chain |

Offered to the market with no onward chain is this charming cottage that offers character features including fireplace, exposed brick & beams and latch doors. Whilst the property could benefit from some remedial works there have been improvements which include a modern fitted kitchen and four piece bathroom suite. The property over looks one of the four commons in the village and provides ample 'kerb appeal' with its well kept front garden with white picket fencing. The accommodation comprises 'L' shaped sitting/dining room, kitchen, first floor landing, two bedrooms, bathroom suite featuring a roll top claw bath and separate shower cubicle, loft area accessed via open steps from bedroom one, gas heating to radiators and double glazing. Along with the front garden which is laid to lawn there is a courtyard style garden to rear.

Price... Offers in Excess of £350,000

Freehold



Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92+)	A		
(81-91)	B		83
(69-80)	C		
(55-68)	D		
(39-54)	E	45	
(21-38)	F		
(1-20)	G		
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	
www.epc4u.com			

LOCATION

Stokenchurch is a popular village nestled in the Chiltern Hills surrounded by open countryside. There are a number of local shops, café, library and some local pubs. There is also healthcare provision with both a Doctor and Dental surgery, and a chemist in the village. The schools within the area are all highly regarded. The area boasts beautiful countryside and is nearby to the riverside Town of Marlow and the larger Town of High Wycombe which offers more extensive facilities. Junction 5 of the M40 is located nearby and is ideal for the commuter both to London, Oxford and Birmingham, via either the motorway or the mainline railway service direct to Marylebone, Oxford and Birmingham located at High Wycombe approximately 9 miles away.

DIRECTIONS

From the centre of the village where our office is located Church Path is accessed via Church Street which is off the Oxford Road A40 overlooking one of the village commons.

ADDITIONAL INFORMATION

EPC Rating

E

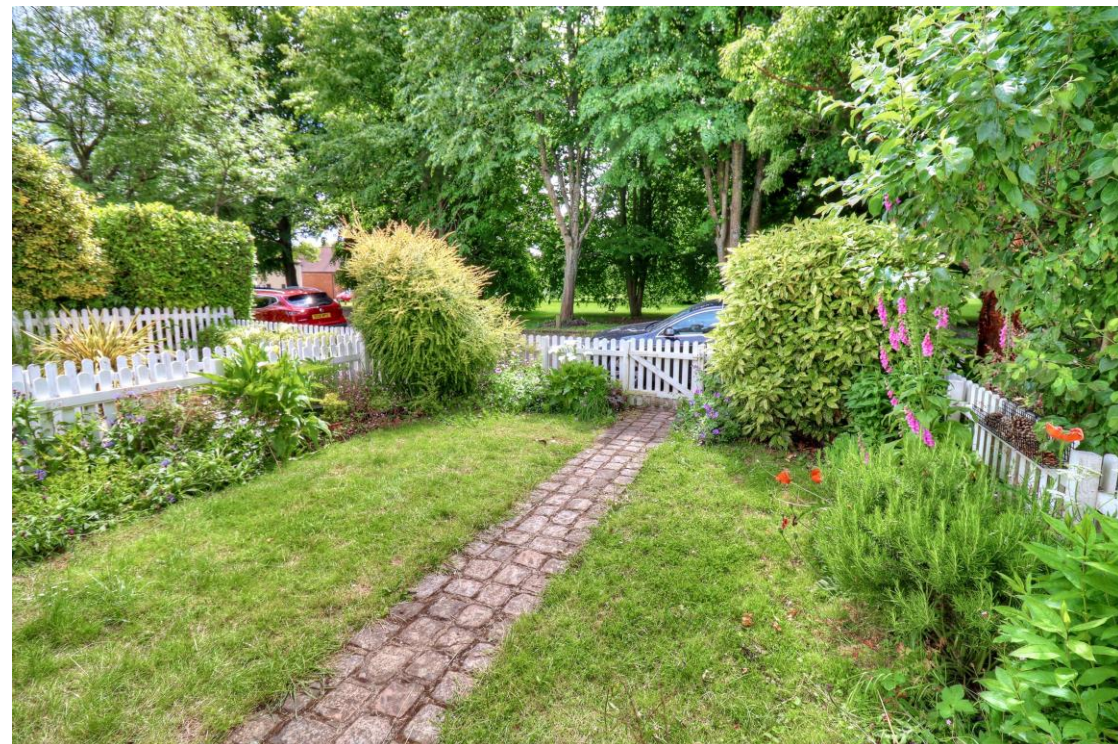
Council Tax

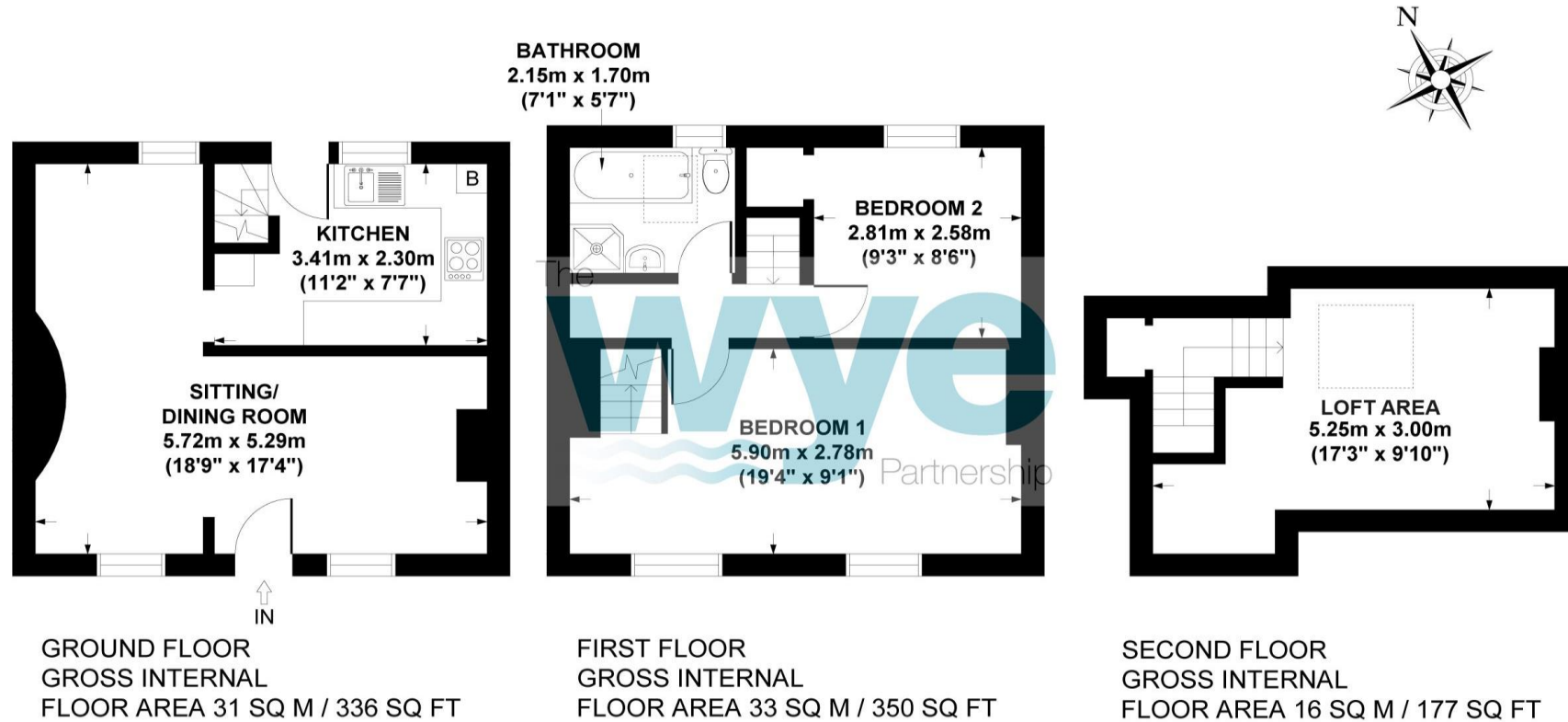
Band E

MORTGAGE

Contact your local Wye Residential office who can introduce you to their Independent Financial Adviser

Whilst we endeavour to make our sales details accurate and reliable they should not be relied on as statements of representation of fact and do not constitute any part of an offer or contract.





BURGESS COTTAGE, CHURCH PATH, STOKENCHURCH, HP14 3TJ
APPROX. GROSS INTERNAL FLOOR AREA 80 SQ M / 863 SQ FT

FLOOR PLAN IDENTIFICATION PURPOSES ONLY -NOT TO SCALE